

AUGUST 2025

BOZEMAN MT

City of Bozeman Downtown Design and
Construction Standards

AMENDMENT SUMMARY

Revision No.	Date	Section	Description
1	8/2025	-	Downtown Design and Construction Standards issued

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Chapter 1 - General Requirements

Chapter 1 General Requirements

1.1. PURPOSE

This document was prepared to provide design engineers, architects, developers, contractors, or other interested individuals with streetscape standards for properties located in the Bozeman Downtown Standards Area. These standards apply to the properties within the Downtown Standards Area as shown in Figure 1. This includes boulevard standards, pedestrian facility design, trees, and other amenities located in public rights-of-way.

This document is adopted as a supplement to the City of Bozeman Design and Construction Standards. Streetscape requirements differ based on location and jurisdiction. Therefore, the Downtown Standards Area has been further divided into four Sub-Areas, and the application of the standards is further described in this document. Figure 1 shows the overall Downtown Standards Area boundary and Sub-Areas.

The standards will ensure that the Downtown Standards Area has a clear and cohesive design intent and aims to simplify the review and approval of improvements.

1.2. DOWNTOWN BOZEMAN PARTNERSHIP

The Downtown Bozeman Partnership (DBP) is a member-managed limited liability corporation. The member organizations include the Downtown Bozeman Association (DBA), Business Improvement District (BID), and Downtown Urban Renewal District (DURD) which established the Partnership as an incorporated management agency. The Downtown Bozeman Partnership provides combined operational support in the form of offices and employees for the three-member organizations.

1.2.1 Downtown Bozeman Association

The Downtown Bozeman Association (DBA) was established in 1980 as a 501c6 membership organization overseen by a board of member business owners and managers. The DBA membership includes a wide variety of retail shops, restaurants, professional service companies, and other non-profit organizations. The DBA generates revenue from annual membership dues and event proceeds.

Annual DBA special events include the Christmas Stroll, Restaurant Week, Crazy Days, the Art Walk series, Music on Main, the Cruisin' on Main car show, and many more.

1.2.2 Downtown Bozeman Business Improvement District

The downtown Bozeman Business Improvement District (BID) is an organization of downtown property owners. The BID was originally founded in 2000, expanded in 2006, renewed in 2010, and renewed again in 2020. BID revenues are derived from a voluntary annual assessment based on each property's portion of the district's taxable value. The BID is overseen by a board appointed by the City Commission.

BID monies support numerous programs including the summer flower baskets, holiday lighting, graffiti removal, and year-round maintenance employees.

Chapter 1 - General Requirements

1.2.3 City of Bozeman Downtown Urban Renewal District

The City of Bozeman Downtown Urban Renewal District (DURD) was created to fund the implementation of the 1995 Downtown Bozeman Urban Renewal Plan. The DURD board is appointed by the Mayor with City Commission consent. The DURD is financed by the annual increase in the district's tax base since 1995. As mandated by the Montana Code, the DURD invests in infrastructure projects that add long-term value to the district.

1.3. **APPLICABILITY**

Properties located within the Downtown Standards Area shall be subject to the requirements listed within this document. The applicant is encouraged to reach out to DBP staff to address any requirements herein prior to submittal to agencies having jurisdiction.

Standards contained herein apply to the Downtown Standards Area only and shall not be construed to allow for certain uses in other areas in the City of Bozeman.

1.4. **ACRONYMS, ABBREVIATIONS AND TERMS**

Acronyms, abbreviations, and terms used in this document are found in the Glossary.

1.5. **APPLICABLE LAWS, REGULATIONS AND STUDIES**

Engineers, developers, and contractors are strongly encouraged to become knowledgeable about the latest editions of all applicable laws and regulations, City of Bozeman ordinances, design standards, and reports having jurisdiction over infrastructure design and construction within the City of Bozeman. These requirements include, but may not be limited to, those identified below.

1.5.1 State and Federal

- A. Montana Department of Transportation (MDT) – Required for MDT Routes within Downtown District Sub-Areas 1 and 2
- B. CFRs including, but not limited to, the Environmental Protection Agency Regulations
- C. Administrative Rules of Montana (ARM)
- D. Montana Code Annotated (MCA)
- E. Montana Department of Environmental Quality (MDEQ) Circulars 1, 2, 4, and 8
- F. Montana Public Works Standard Specifications (MPWSS)
- G. International Fire Code with local amendments
- H. National Electrical Code (NEC)

1.5.2 City of Bozeman

All infrastructure projects shall comply with the most current version of the following documents which are listed in descending order of precedence:

- A. Bozeman Municipal Code (BMC)
- B. COB Design and Construction Standards (DCS)
- C. COB Modifications to Montana Public Works Standard Specifications (COB Modifications)
- D. City of Bozeman Downtown Design and Construction Standards

Chapter 1 - General Requirements

1.5.3 Facility Plans

The most recently adopted versions of the City Water and Wastewater Facilities Plans shall govern sewer and water trunk main design and sizing. The Storm Water Master Plan and Transportation Plan shall govern their respective service area issues.

- A. Water Facility Plan Update
- B. Wastewater Collection Facilities Plan Update
- C. Transportation Master Plan
- D. Storm Water Facilities Plan

1.6. APPROVALS AND PERMITS

Improvements within the right-of-way of Main Street and North Rouse Avenue must be reviewed and approved by MDT through the System Impact Action Process (SIAP). Improvements in MDT right-of-way will require a maintenance agreement with MDT.

(<https://www.mdt.mt.gov/business/siap.aspx>)

City of Bozeman review of proposed infrastructure improvements shall be performed in accordance with BMC and DCS requirements.

General guidance regarding COB permits can be found on the City's website

(<https://www.bozeman.net/services/development-center>).

1.6.1 Downtown Sidewalk Encroachment Program

The Downtown Sidewalk Encroachment Program applies to a portion of the B-3 zoning district which is referred to as the "downtown business district" as defined by [Chapter 34, Article 5](#) of BMC.

- A. A permit is required prior to placing any encroachments on the sidewalk in accordance with [Section 34.05.050](#) of BMC.
- B. A permit is required for substantial encroachments in the public right-of-way in accordance with [Section 34.05.060](#) of BMC.
- C. The DBP has an encroachment permit for streetscape items installed and maintained by the BDP within the furnishing zone in the downtown area (i.e., garbage receptacles, street lighting, and bike racks).
- D. Sidewalk cafes serving alcoholic beverages shall be operated in accordance with [Section 34.05.100](#) of MBC and have a state-issued alcoholic beverage license. The license shall specifically include the sidewalk cafe area. Refer to the [Montana Alcoholic Beverage Control Division](#) for more information regarding state licenses.

1.7. CITY OF BOZEMAN DESIGN AND CONSTRUCTION STANDARDS

The COB Design and Construction Standards address public infrastructure requirements within the City of Bozeman. Refer to DCS for the following items:

- Easements
- Engineer's Responsibility
- Contractor's Responsibility
- Developer's Responsibility

Chapter 1 - General Requirements

- Deviations From Standards – Administrative Waiver
- Construction Inspection, Testing, and Quality Control
- Construction Deficiencies

1.8. RESPONSIBILITY FOR INSTALLATION AND MAINTENANCE

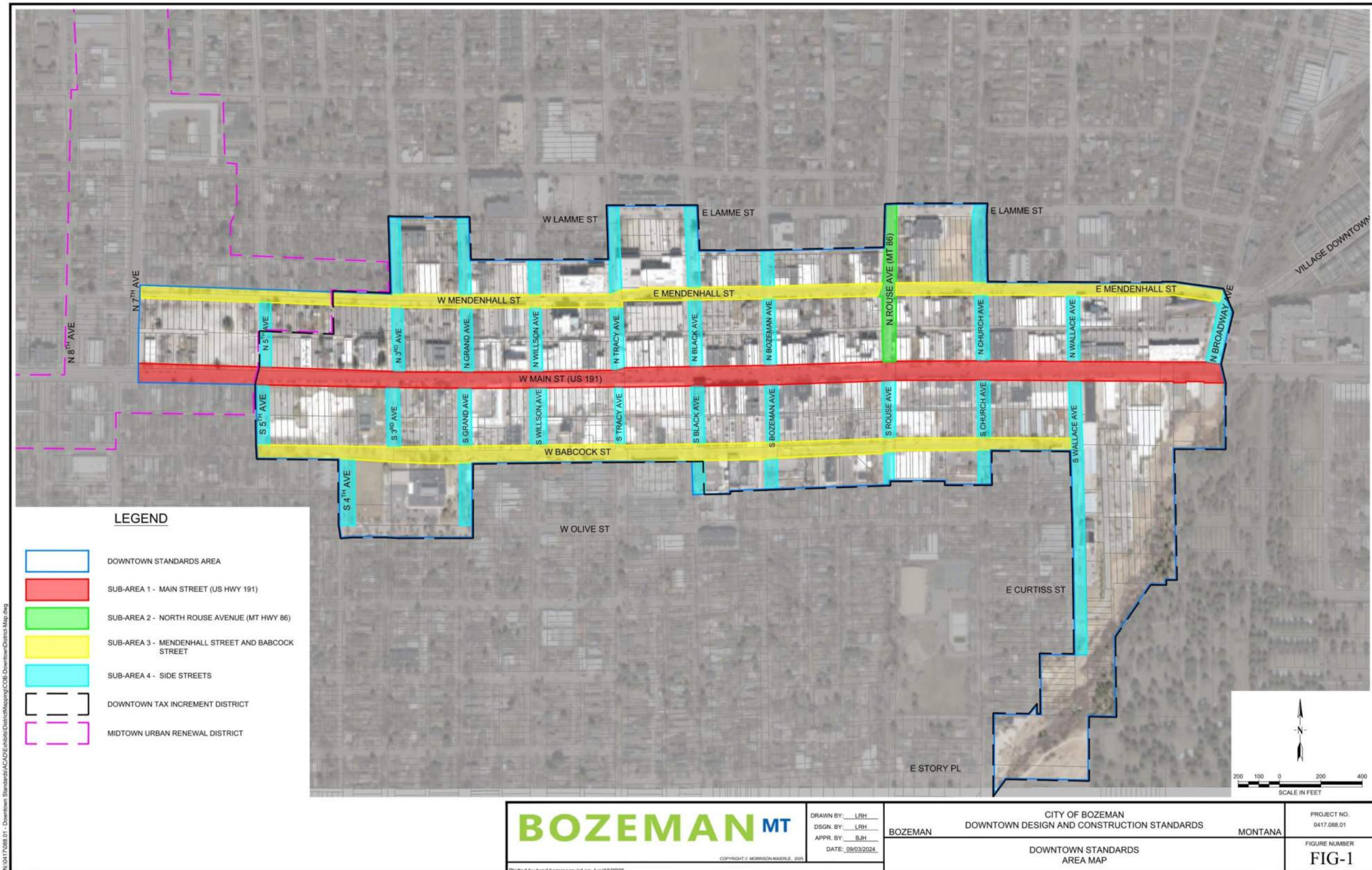
All public infrastructure including, but not limited to, sidewalks and water and sewer systems shall be installed by owner in accordance with COB Design and Construction Standards, COB Modifications to MPWSS, and other applicable standards and regulations. Tree grates, tree guards, benches, bike racks, trash receptacles, and recycling receptacles may be provided by the Downtown URD for owner installation. Hanging baskets will be provided by the Downtown BID.

Responsibilities for installation, ownership, and maintenance of streetscape items and infrastructure are summarized in Table 1.8.1.

Table 1.8.1 – Ownership and Maintenance Responsibilities			
Item	Procurement/Installation	Ownership	Maintenance
Sidewalks, within ROW ⁽¹⁾	Property Owner	City	Property Owner
Sidewalks, outside ROW ⁽¹⁾	Property Owner	Property Owner	Property Owner
Irrigation Systems	Property Owner	Property Owner	Property Owner
Pedestrian Lights ⁽²⁾⁽³⁾	Property Owner	DURD	DURD
Trees	Property Owner	City	City
Tree Grates ⁽⁴⁾	Property Owner	DURD	DURD
Tree Guards ⁽⁴⁾	Property Owner	DURD	DURD
Benches ⁽⁴⁾	Property Owner	DURD	DURD
Bike Racks ⁽⁴⁾	Property Owner	DURD	DURD
Trash and Recycling Receptacles ⁽⁴⁾	Property Owner	DURD	BID
Hanging Baskets ⁽³⁾	BID	BID	BID
⁽¹⁾ Property owners are responsible for maintenance of abutting sidewalks in accordance with Section 34.04.020 of BMC . ⁽²⁾ Lower banner arm purchased by DURD and installed by BID. ⁽³⁾ Banners and hanging baskets only installed and maintained by BID within BID district. ⁽⁴⁾ Applicants are encouraged to contact the Downtown Business Partnership prior to final design and construction of projects to inquire about availability of Downtown URD furnished items and opportunities for grants or reimbursement for public items and improvements procured or performed by the owner.			

For more information, the Downtown Bozeman Improvement Plan can be viewed on the Downtown Bozeman website (<https://downtownbozeman.org/resources/downtown-plans>).

Chapter 1 - General Requirements



Chapter 2 - Downtown Standards Requirements

Chapter 2 Downtown Standards Requirements

The Downtown Standards Area has been divided into four Sub-Areas. Rights-of-ways within the Downtown Standards Area have differing requirements based on location and jurisdiction. The Sub-Areas and requirements within each area are described in the sections below and shown on Figure 1.

2.1. GENERAL REQUIREMENTS

2.1.1 Sidewalk Encroachments

Furnishings and other encroachments placed within the streetscape (benches, bike racks, receptacles, trees, etc.) shall meet the requirements specified herein and comply with [Chapter 34, Article 5](#) of BMC.

2.1.2 Public Infrastructure Products and Furnishings

Public infrastructure products and furnishings placed within the right-of-way are standardized for consistency in appearance and to facilitate efficient operation and maintenance. A list of approved products is included in Appendix A.

2.1.3 Block Frontage Standards

Block frontages shall be in accordance with [Section 38.510.030](#) of BMC.

2.2. COMMON INFRASTRUCTURE REQUIREMENTS

The following requirements generally apply to the entire Downtown Standards Area. Subsequent sections describe requirements that are specific to each Sub-Area.

2.2.1 Obstructions

The minimum distance behind the top-back-of-curb to any obstruction is 1.5 feet.

2.2.2 Pedestrian Facilities

New pedestrian walkways shall be installed to meet ADA and PROWAG standards. Details regarding sidewalk width, depth, joint tooling, etc. have been provided in Appendix B.

Where pedestrian facilities are adjacent to buildings and there is insufficient vertical foundation at the interface, a vertical concrete grading wall may be installed immediately adjacent to the building to permit grade adjustments of the sidewalk.

2.2.3 Pedestrian Lighting

Pedestrian lights shall be installed along the streetscape to provide pedestrian lighting between lighted intersections and enhance the streetscape. Generally, streetlamp poles shall be approximately 12 feet in height, not inclusive of the luminaire mounted on top of the pole.

Chapter 2 - Downtown Standards Requirements

Spacing of pedestrian lights shall be determined by meeting the illuminance requirements outlined by the City of Bozeman's Standard Specifications for Lighting Materials and Installation.

Pedestrian lights in Sub-Areas 1, 3, and 4 shall include two banner arms, two hanging basket arms, a flag holder, and an exterior outlet. The upper banner arm shall be supplied by the light pole manufacturer. The lower banner arm will be installed by others.

Pedestrian lights in Sub-Area 2 shall not include banner arms, hanging basket arms, flag holders, or outlets.

2.2.4 Electrical

Electrical conduit shall meet the requirements of NEC, City of Bozeman DCS, MDT Standard Specifications where applicable, and other codes and standards adopted therein.

Electrical outlets and conduits are not allowed to be located in tree wells or attached to tree grates and tree guards.

2.2.5 Benches

Approved models are listed in Appendix A. Bench placement shall comply with [Chapter 34, Article 5](#) of BMC and shall face the street. Benches shall be anchored to the concrete.



2.2.6 Bike Racks

Approved models are listed in Appendix A. Bike rack placement and configuration shall comply with [Section 34.05.100](#) of BMC.



Chapter 2 - Downtown Standards Requirements

2.2.7 Trash and Recycling Receptacles

Approved models of trash receptacles are included in Appendix A. The receptacle shall be black in color and have a cover to exclude rainwater.

Approved models of recycling receptacles are included in Appendix A. Recycling receptacles shall be green in color and shall be located immediately adjacent to trash receptacles. The receptacle shall have a cover to exclude rainwater.

Trash and Recycling receptacles shall be located in the furnishings zone in accordance with [Section 34.05.100 of BMC](#).



2.2.8 Landscaping

A. Trees

Trees within the right-of-way shall comply with [Chapter 16, Article 5](#) of Bozeman BMC. No tree shall be planted without first obtaining a [Forestry Planting Permit](#) from the COB. No tree shall be planted within 10 feet of any utility as shown in the Planting Detail of the Forestry Division Permit Planting Form.

Tree species approved for planting in the downtown area are limited to the types listed below. Additional tree species may be approved at the discretion of the Forestry Division manager.

Approved Tree Species:

- Alder (*Alnus* spp.) – single-trunk, tree form only
- Amur cherry (*Prunus maackii*)
- Elms (*Ulmus* spp.) – ‘Brandon’ and ‘Accolade’ cultivars prohibited
- Hackberry (*Celtis occidentalis*)
- Hawthorn (*Crataegus* spp.) – thornless cultivars only
- Japanese tree lilac (*Syringa reticulata*)
- Kentucky coffeetree (*Gymnocladus dioica*) – male cultivars only
- Kentucky yellowwood (*Cladrastis kentuckea*)
- Lindens (*Tilia* spp.) – ‘Harvest Gold’ cultivar only
- Red Maple (*Acer rubrum*) – ‘Northwood’ cultivar only
- Norway Maple (*Acer platanoides*)

Refer to the COB [Forestry Division Street Tree Guide](#) for additional guidance on street trees.

Chapter 2 - Downtown Standards Requirements

B. Tree Grates

Approved models are listed in Appendix A. Tree grates shall be cast iron and meet ADA and PROWAG requirements for pedestrian facilities.

Frames for tree grates shall be placed in a manner which provides a minimum of 6" of concrete between the curb and frame to allow for anchoring of the tree grate frame and prevent cracking and deterioration of the concrete between the curb and tree grate.



C. Tree Guards

Approved models are listed in Appendix A. Tree guards shall be steel and have a black powder coat finish. Tree guards are required to protect them from pedestrians and vehicles. Once the trees reach the required maturity, the tree guards may be removed.

D. Hanging Baskets and Planter Boxes

Hanging baskets and planter boxes shall comply with [Chapter 34, Article 5](#) of BMC.

The Downtown BID will purchase, install, and water flower baskets that are located within the Downtown BID boundary. Contact the Downtown Bozeman Partnership office for more information.

E. Grass and Vegetation

Turf grass is generally not applicable in the downtown area but may be permitted on a case-by-case basis.

F. Pavers

Pavers within the right-of-way are not considered to meet these standards, however, may be approved by the jurisdictional authority on a case-by-case basis.

G. Irrigation

Irrigation systems for trees are encouraged to improve tree vitality; however, they are the responsibility of the property owner to install and maintain. When heated sidewalks are installed adjacent to trees, considerations shall be made to ensure that trees receive adequate water.

H. Soil Vaults

The use of soil vaults for trees improves tree vitality, however their use shall be approved by the COB in consultation with relevant departments prior to installation and maintenance responsibilities shall be defined.

Chapter 2 - Downtown Standards Requirements

2.3. SUB-AREA 1 REQUIREMENTS (MAIN STREET)

The following requirements apply to Sub-Area 1.

2.3.1 Definition and Reviewing Agencies

Sub-Area 1 is defined to be Main Street (US Highway 191) between 7th Avenue and Broadway Avenue. The area applies to the full width of the right-of-way for the street between these intersections and includes intersecting streets within the Main Street right-of-way.

All improvements within the right-of-way of Main Street must be reviewed and approved by MDT through the System Impact Action Process (SIAP).

The Montana Department of Transportation (MDT) has jurisdiction over the right-of-way. Infrastructure facilities (water, sewer, storm) shall be installed per the City of Bozeman Engineering Standards.

2.3.2 Curb and Gutter Type

Curb and gutter shall be constructed per MDT Standards.

2.3.3 Sidewalk

Sidewalks shall be constructed in accordance with MDT requirements.

2.3.4 Pedestrian Ramps

Pedestrian ramps shall be constructed in accordance with MDT requirements.

2.3.5 Electrical

Electrical work within MDT right-of-way shall be in accordance with MDT Standard Specifications. Electrical conduit required for new installations of electrical equipment in this sub-area should generally be routed beneath the sidewalks.

2.4. SUB-AREA 2 REQUIREMENTS (NORTH ROUSE AVENUE)

2.4.1 Definition and Reviewing Agencies

Sub-Area 2 is defined to be North Rouse Avenue (MDT State Highway 86) north of Main Street and south of E. Lamme Street. The area applies to the full width of the right-of-way for the street between these intersections as shown on Figure 1 and includes intersecting streets within the North Rouse Avenue right-of-way.

All improvements within the right-of-way of North Rouse Avenue must be reviewed and approved by MDT through the System Impact Action Process (SIAP).

The Department of Transportation (MDT) has jurisdiction over this right-of-way. Infrastructure facilities (water, sewer, storm) shall be installed per the City of Bozeman Engineering Standards.

2.4.2 Curb and Gutter Type

Curb and gutter shall be constructed per MDT Standards.

2.4.3 Sidewalk

Sidewalks shall be constructed in accordance with MDT requirements.

Chapter 2 - Downtown Standards Requirements

2.4.4 Pedestrian Ramps

Pedestrian ramps shall be constructed in accordance with MDT requirements.

2.4.5 Electrical

Electrical work within MDT right-of-way shall be in accordance with MDT Standard Specifications. Electrical conduit required for new installations of electrical equipment in this sub-area should generally be routed beneath the sidewalks

2.5. SUB-AREA 3 REQUIREMENTS (MENDENHALL STREET AND BABCOCK STREET)

2.5.1 Definition and Reviewing Agencies

Sub-Area 3 is defined as the following areas. The areas apply to the full width of the right-of-way for the street between these locations as shown on Figure 1.

- Mendenhall Street between North 7th Avenue and North Broadway Avenue.
- Babcock Street between South 5th Avenue and South Wallace Avenue.

The City of Bozeman has sole jurisdiction over these rights-of-way. Infrastructure facilities (water, sewer, storm) shall be installed per the City of Bozeman Engineering Standards.

2.5.2 Curb and Gutter Type

Curb and gutter shall be constructed per MDT Standards as these streets are designated as Urban Routes.

2.5.3 Sidewalk

Sidewalks shall be constructed in accordance with MDT requirements as these streets are designated as Urban Routes.

2.5.4 Pedestrian Ramps

Pedestrian ramps shall be constructed in accordance with MDT requirements as these streets are designated as Urban Routes.

2.6. SUB-AREA 4 REQUIREMENTS (SIDE STREETS)

2.6.1 Definition and Reviewing Agencies

Sub-Area 4 is defined to be the following areas. The areas apply to the full width of the right-of-way for the streets below as shown in Figure 1.

- 5th Avenue
- 4th Avenue
- 3rd Avenue
- Grand Avenue
- Willson Avenue (Urban Route)
- Tracy Avenue
- Black Avenue
- Bozeman Avenue

Chapter 2 - Downtown Standards Requirements

- South Rouse Avenue (Urban Route from Main Street past Babcock Street)
- Church Avenue (Urban Route)
- Wallace Avenue
- North Broadway Avenue

The City of Bozeman has sole jurisdiction over these rights-of-way. Infrastructure facilities (water, sewer, storm) shall be installed per the City of Bozeman Engineering Standards.

2.6.2 Curb and Gutter Type

Curb and gutter shall be constructed in accordance with City of Bozeman DCS with the exception of Urban Routes as specified above, which shall be constructed in accordance with MDT requirements.

2.6.3 Sidewalk

Sidewalks shall be constructed in accordance with City of Bozeman DCS with the exception of Urban Routes as specified above, which shall be constructed in accordance with MDT requirements.

2.6.4 Pedestrian Ramps

Pedestrian ramps shall be constructed in accordance with City of Bozeman DCS with the exception of Urban Routes as specified above, which shall be constructed in accordance with MDT requirements.

Chapter 3 - Submittals and Review Process

Chapter 3 Submittals and Review Process

Submittal of plans within all District Sub-Areas shall be performed in accordance with City of Bozeman DCS requirements.

The engineering electronic plan review system and Engineering Guides and Checklists can be accessed via the Development Center in the City's Engineering Division webpage.

Improvements within Sub-Areas 1 and 2 (MDT Routes) shall be approved by MDT and City of Bozeman. The applicant shall submit and obtain approval from MDT through the System Impact Action Process (SIAP) separately from the City of Bozeman.

Glossary of Acronyms and Terms

AASHTO	American Association of State Highway and Transportation Officials
ADA	Americans with Disabilities Act
ASTM	American Society for Testing and Materials
BMC	Bozeman Municipal Code
CFR	Code of Federal Regulations
COB	City of Bozeman
COB Mods	City of Bozeman Standard Modifications to MPWSS
DBA	Downtown Bozeman Association
DBP	Downtown Bozeman Partnership
DCS	Design and Construction Standards
DURD	Downtown Urban Renewal District
MCA	Montana Code Annotated
MDT	Montana Department of Transportation
MPWSS	Montana Public Works Standard Specifications
MUTCD	Manual of Uniform Traffic Control Devices
NEC	National Electrical Code
PE	Professional Engineer
PROWAG	Public Right-of-Way Accessibility Guidelines
SIAP	System Impact Action Process (MDT)

Appendix A – Approved Item List

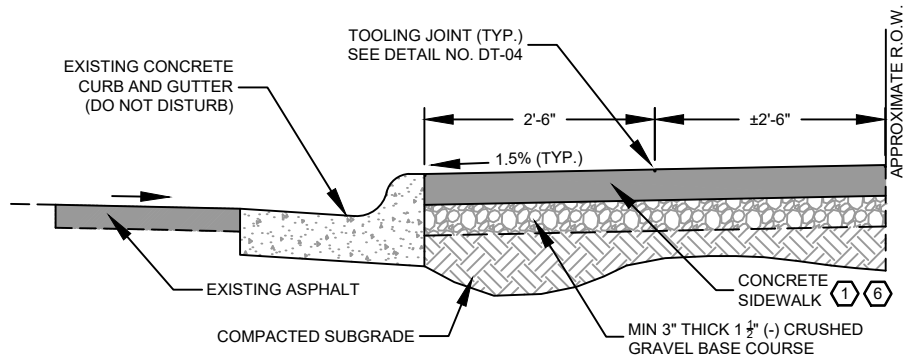
Table 2.6.1 – Approved Items					
Item	Make	Model	Color	Dimensions & Notes	Sub-Area(s) Approved
Pedestrian Light Pole	Lumec	R80A-12-BAS25-GFII-PSD16-TBC1-BKTX	Black Textured	<ul style="list-style-type: none"> - 12' pole height - Include one 25" banner arm towards buildings. BAS25" to be @ 11'-6" above grade @ 0° - Include two 16" opposing hanging basket arms parallel to street. PSD16" to be @ 10' above grade @ 90° and 270° - Include 120V GFCI outlet with waterproof cover towards street. GFII to be @10'-6" above grade @180° - Provide breakaway bolts when required for connection to base - Include matching manufacturer provided fabricated base to cover breakaway couplings when breakaway couplings are used. ⁽²⁾ 	1, 3, 4
Pedestrian Light Pole	Lumec	R80A-12-TBC1-BKTX	Black Textured	<ul style="list-style-type: none"> - 12' pole height - Voltage shall be specified - Breakaway bolts are required for connection to base - Include matching manufacturer provided fabricated base to cover breakaway couplings when breakaway couplings are used. ⁽²⁾ 	2
Pedestrian Light Luminaire	Lumec	Serenade DSX S55-55W48LED4K-T-ACDR-LE3-UNV-DMG-SFX-BKTX	Black Textured	<ul style="list-style-type: none"> - 17-3/8" dia., 40-5/8" height, acrylic globe - 120-277V - 54 Watt, Type III (ASYM) - 0-10V dimming compatible driver 	1, 3, 4
Pedestrian Light Luminaire	Lumec	Serenade DSX [S55-007]-S55-55W48LED3K-T-ACDR-LE3-VOLT-DMG-SFX-RCD7-BKTX	Black Textured	<ul style="list-style-type: none"> - 17-3/8" dia., 36" height - 120-277V - 54 Watt, Type III (ASYM) - 0-10V dimming compatible driver - Twist-lock photoelectric cell and receptacle 	2
Permanent Bench	Landscape Forms	Plainwell	Black, Powder Coated	<ul style="list-style-type: none"> - 72" wide with center arm - Ipe wood seat - Freestanding/surface mountable 	1, 2, 3, 4

Table 2.6.1 – Approved Items					
Item	Make	Model	Color	Dimensions & Notes	Sub-Area(s) Approved
Bike Rack		Custom Fabrication ⁽¹⁾	Black	- Approx. 23" W x 33" H	1, 2, 3, 4
Trash Receptacle	Victor Stanley	SD-42 Ironsites	Black	- 36-gallon - S-2A dome lid - Latch - Side-opening - Black plastic liner	1, 2, 3, 4
Recycling Bin	Victor Stanley	S-35 Ironsites	Green	- 24-Gallon, DSS-1 rain bonnet Lid - 1 plaque, 12 7/8" x 12 7/8" - No plaque detail - Black plastic liner	1, 2, 3, 4
Tree Grate Frame	Neenah	R-8708 Type U	N/A	- 180-degree section - Class 35B – For 4' x 4' tree grate - 36 5/8" x 12 1/2" x 1 1/2" – 'NF'	1, 2, 3, 4
Tree Grate	Neenah	R-8708 Type N	N/A	- 2-piece - 180-degree section - Class 35B - 24" x 48" x 1 1/2" - 4' x 4' tree grate is the minimum/standard. Larger tree grates may be approved on a case-by-case basis	1, 2, 3, 4
Tree Guard	Neenah	NF 42648 Type C – 180 Degree	Black, Powder Coated	- 2-piece - 16" Inside diameter x 5' height - 7-gauge bars w/ bolts	1, 2, 3, 4
Hanging Basket	Earth Planter	Pro-Series 22 Self Watering Hanging Basket	Black	- 22" Top outside diameter x 16 1/2" H - 1 cubic foot soil capacity - 4-gallon water capacity	1, 2, 3, 4
<p>⁽¹⁾ Contact Bozeman Downtown Partnership for fabrication information.</p> <p>⁽²⁾ Non-breakaway bases may be approved by the City of Bozeman in Sub-Areas 1, 3, and 4 and such approval does not apply to other projects outside of the Downtown Standards Area.</p>					

Appendix B – Downtown Standard Drawings

Appendix B
City of Bozeman
Downtown Standard Drawings

<u>Drawing</u>	<u>Description</u>
DT-01	5' Sidewalk
DT-02	7.5' Sidewalk
DT-03	10' Sidewalk
DT-04	Sidewalk Details
DT-05	Sidewalk Details 2
DT-06	Tree Planting Detail
DT-07	Tree Grate & Guard Detail
DT-08	Pedestrian Light Detail
DT-09	Pedestrian Light Foundation
DT-10	Street and Sidewalk Conduit Trench

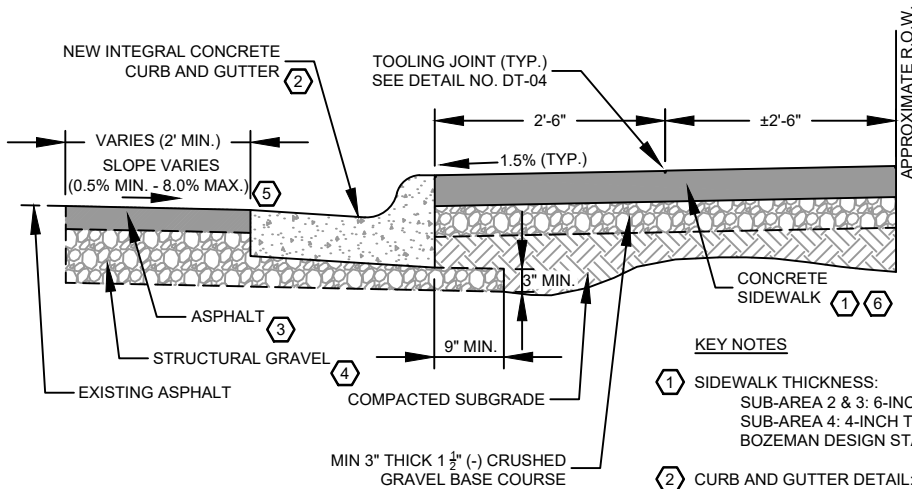


APPLIES TO SUB-AREAS



TYPICAL 5' WIDE CURB WALK (EXISTING CURB) DETAIL

SIDEWALK SHALL HAVE A TYPICAL CROSS SLOPE OF 1.5%. THE CROSS SLOPE FOR PEDESTRIAN FACILITIES SHALL BE A MINIMUM OF 0.50% AND A MAXIMUM OF 2.0%.



APPLIES TO SUB-AREAS



KEY NOTES

- ① SIDEWALK THICKNESS:
SUB-AREA 2 & 3: 6-INCH THICK
SUB-AREA 4: 4-INCH THICK UNLESS OTHERWISE SPECIFIED BY BOZEMAN DESIGN STANDARDS
- ② CURB AND GUTTER DETAIL:
SUB-AREA 2: MDT DETAILED DRAWINGS
SUB-AREA 3 & 4: CITY OF BOZEMAN DESIGN STANDARDS
- ③ ASPHALT THICKNESS: MATCH EXISTING. MIN. 3", MAX. 6"
- ④ CRUSHED GRAVEL BASE COURSE. MATCH EXISTING DEPTH. MIN. 6"
- ⑤ SURFACE SLOPE SHALL MEET ADA OR PROWAG REQUIREMENTS WHEN ADJACENT TO PEDESTRIAN RAMPS
- ⑥ SIDEWALK SHALL HAVE A TYPICAL CROSS SLOPE OF 1.5%. THE CROSS SLOPE FOR PEDESTRIAN FACILITIES SHALL BE A MINIMUM

TYPICAL 5' WIDE CURB WALK (NEW CURB) DETAIL

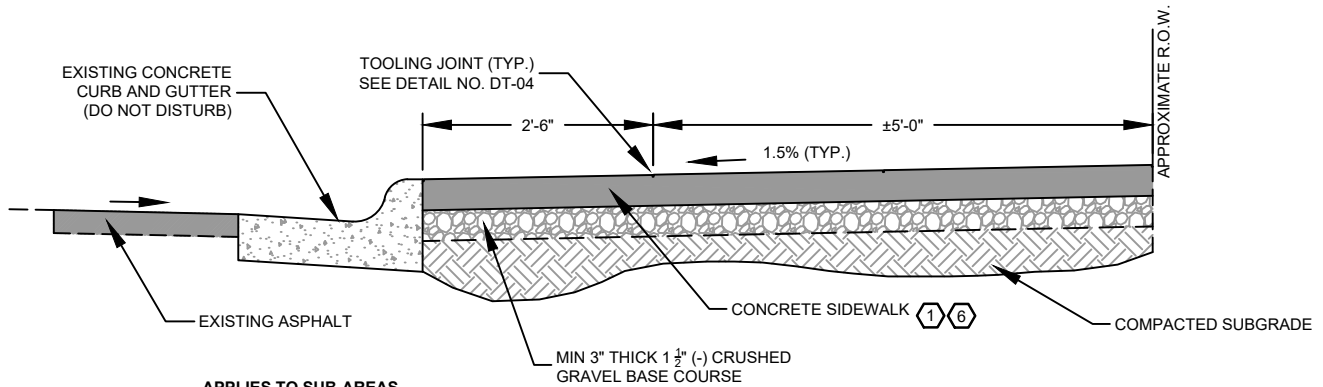


CITY OF BOZEMAN
DOWNTOWN
STANDARD DRAWING

SCALE:
NONE

5' SIDEWALK

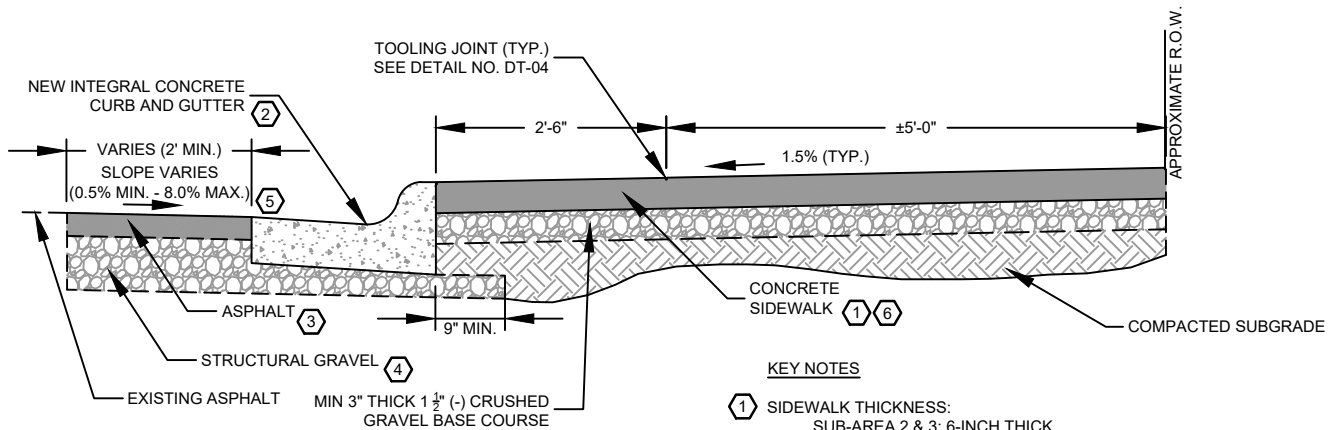
NO. DT-01
08/2025



APPLIES TO SUB-AREAS

- 2
- 3
- 4

TYPICAL 7.5' WIDE SIDEWALK (EXISTING CURB) DETAIL



APPLIES TO SUB-AREAS

- 2
- 3
- 4

KEY NOTES

- ① SIDEWALK THICKNESS:
SUB-AREA 2 & 3: 6-INCH THICK
SUB-AREA 4: 4-INCH THICK UNLESS OTHERWISE SPECIFIED BY BOZEMAN DESIGN STANDARDS
- ② CURB AND GUTTER DETAIL:
SUB-AREA 2: MDT DETAILED DRAWINGS
SUB-AREA 3 & 4: CITY OF BOZEMAN DESIGN STANDARDS
- ③ ASPHALT THICKNESS: MATCH EXISTING. MIN. 3", MAX. 6"
- ④ CRUSHED GRAVEL BASE COURSE. MATCH EXISTING DEPTH. MIN. 6"
- ⑤ SURFACE SLOPE SHALL MEET ADA OR PROWAG REQUIREMENTS WHEN ADJACENT TO PEDESTRIAN RAMPS
- ⑥ SIDEWALK SHALL HAVE A TYPICAL CROSS SLOPE OF 1.5%. THE CROSS SLOPE FOR PEDESTRIAN FACILITIES SHALL BE A MINIMUM

TYPICAL 7.5' WIDE SIDEWALK (NEW CURB) DETAIL

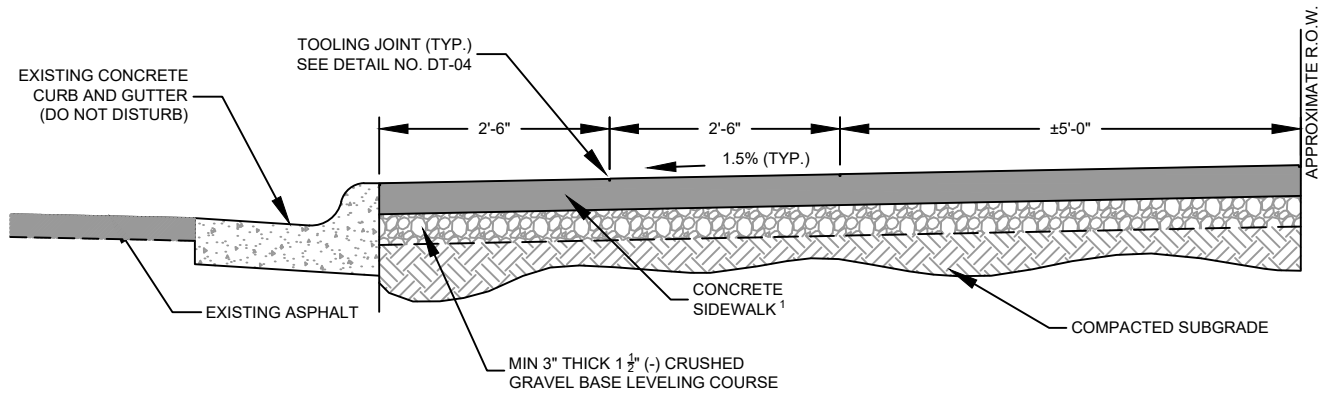


CITY OF BOZEMAN
DOWNTOWN
STANDARD DRAWING

SCALE:
NONE

7.5' SIDEWALK

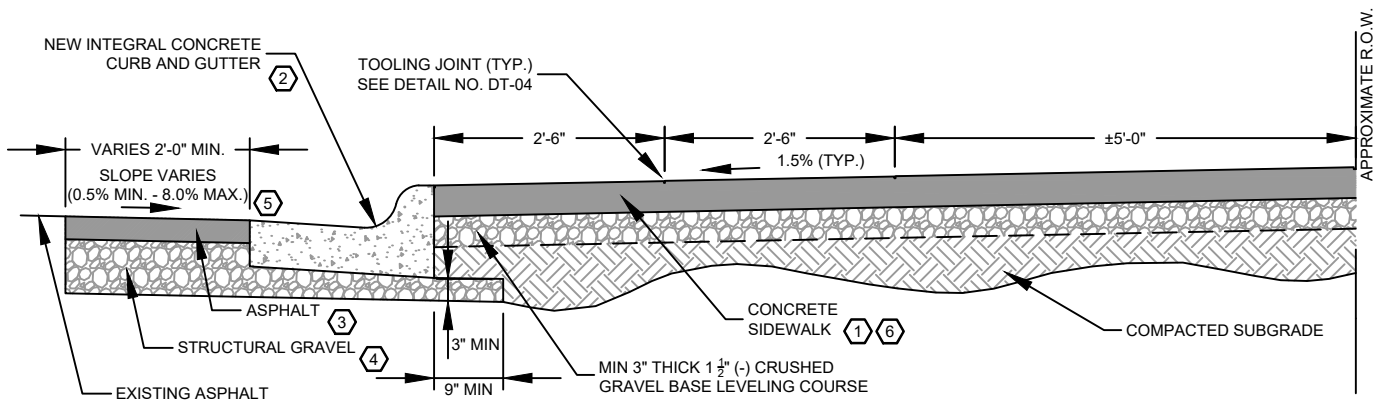
NO. DT-02
08/2025



APPLIES TO SUB-AREAS

- 1
- 2
- 3

TYPICAL 10' WIDE SIDEWALK (EXISTING CURB) DETAIL



APPLIES TO SUB-AREAS

- 1
- 2
- 3

KEY NOTES

- ① SIDEWALK THICKNESS:
SUB-AREA 1, 2 & 3: 6-INCH THICK
- ② CURB AND GUTTER DETAIL:
SUB-AREAS 1 & 2: MDT DETAILED DRAWINGS
SUB-AREA 3: CITY OF BOZEMAN DESIGN STANDARDS
- ③ ASPHALT THICKNESS: MATCH EXISTING. MIN. 3", MAX. 6"
- ④ CRUSHED GRAVEL BASE COURSE. MATCH EXISTING DEPTH. MIN. 6"
- ⑤ SURFACE SLOPE SHALL MEET ADA OR PROWAG REQUIREMENTS WHEN ADJACENT TO PEDESTRIAN RAMPS
- ⑥ SIDEWALK SHALL HAVE A TYPICAL CROSS SLOPE OF 1.5%. THE CROSS SLOPE FOR PEDESTRIAN FACILITIES SHALL BE A MINIMUM OF 0.50% AND A MAXIMUM OF 2.0%.

TYPICAL 10' WIDE SIDEWALK (NEW CURB) DETAIL

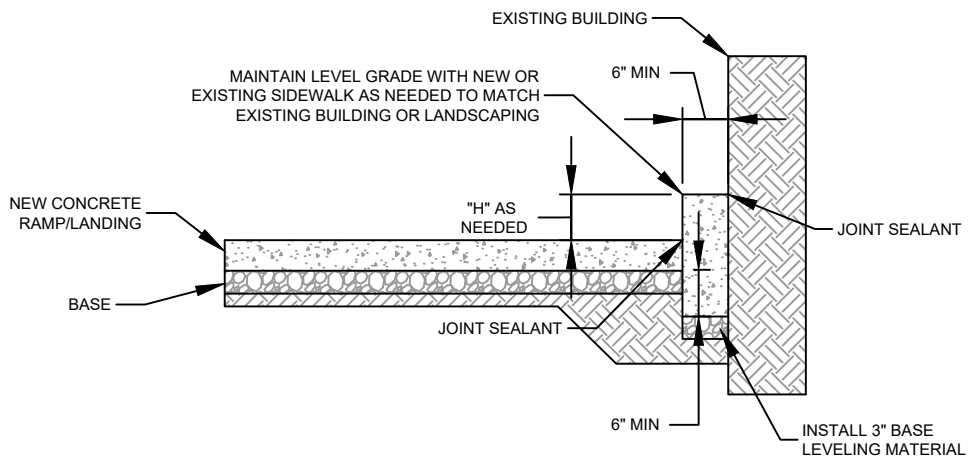


CITY OF BOZEMAN
DOWNTOWN
STANDARD DRAWING

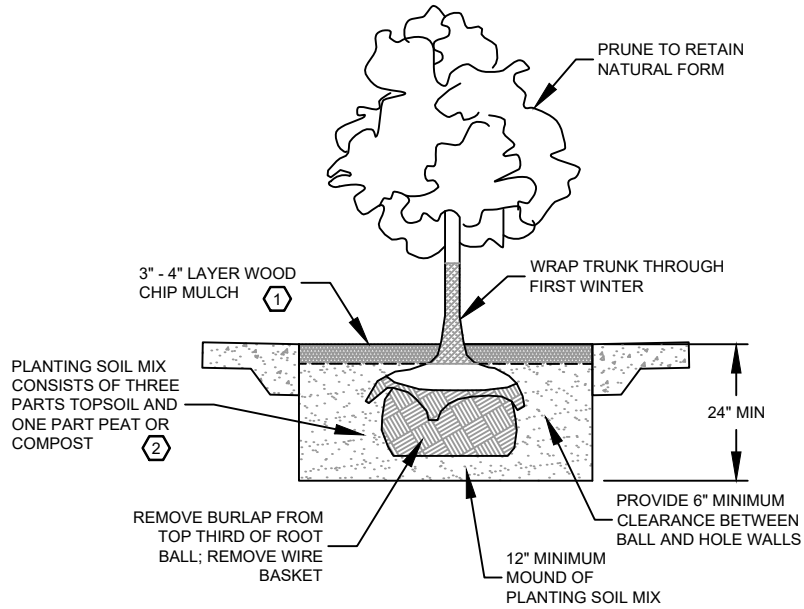
SCALE:
NONE

10' SIDEWALK

NO. DT-03
08/2025



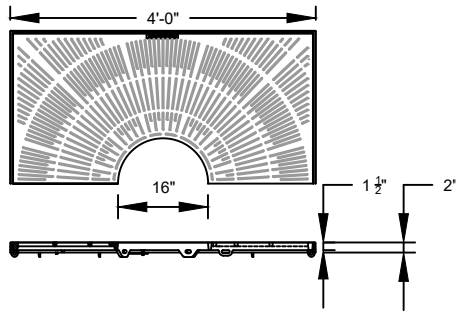
SIDEWALK GRADING WALL DETAIL



KEY NOTES:

- (1) GRAVEL AND WASHED ROCK MULCH IS NOT ALLOWED.
- (2) TREE WELL SHALL BE A MINIMUM OF 4' W x 4' L x 2' D. ELECTRICAL OUTLETS AND CONDUIT ARE NOT ALLOWED WITHIN TREE WELL.

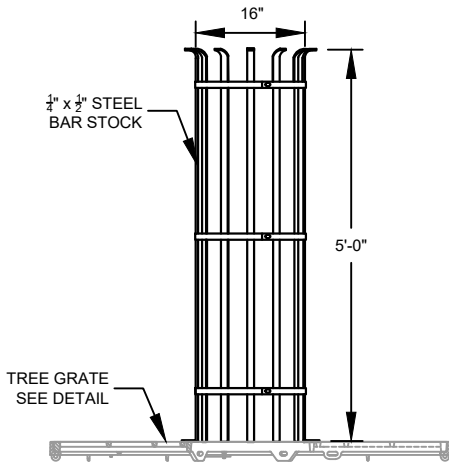
TREE PLANTING DETAIL



NOTES:

1. IRON GATE TO BE MODEL 8708, TYPE N ORDERED FROM NEENAH FOUNDRY COMPANY.
2. FRAME TO BE MODEL 8708, TYPE V ORDERED FROM NEENAH FOUNDRY COMPANY.
3. GRATES SHALL MEET ADA STANDARDS.
4. TREE OPENING SIZE TO BE 16".
5. INSTALL PER MANUFACTURER INSTRUCTIONS.

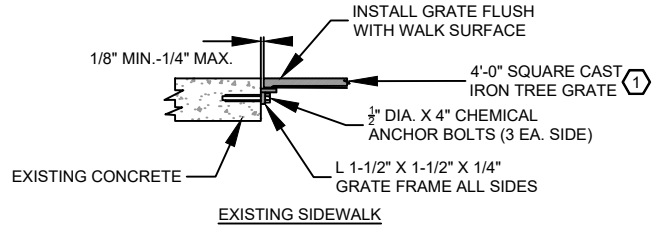
TREE GRATE DETAIL



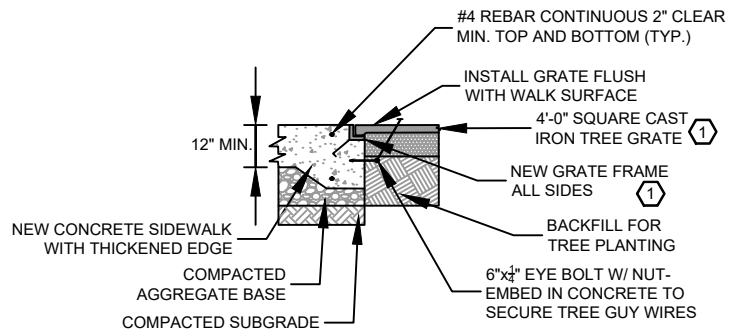
NOTES:

1. TREE GUARD TO BE MODEL NF42648 5' HEIGHT FROM NEENAH FOUNDRY COMPANY.
2. TREE OPENING TO BE 18".
3. COLOR: BLACK POWDERCOAT.
4. INSTALL PER MANUFACTURER INSTRUCTIONS.

TYPICAL TREE GUARD DETAIL

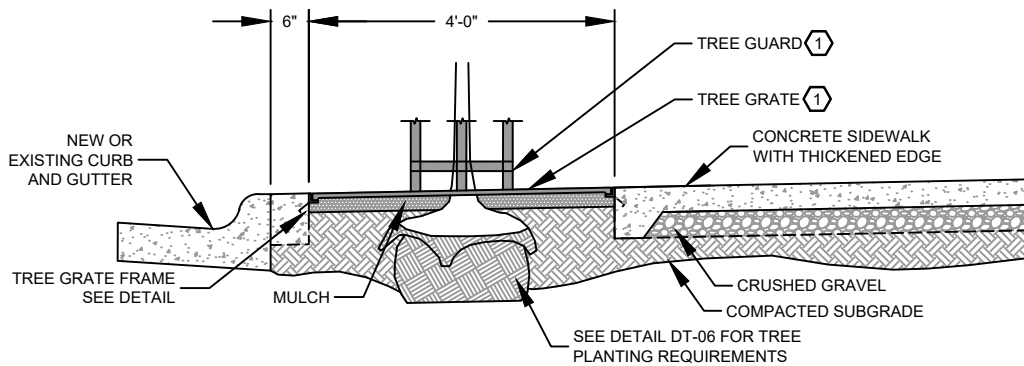


EXISTING SIDEWALK



NEW SIDEWALK

TREE GRATE FRAME DETAIL



TYPICAL TREE OPENING DETAIL

KEY NOTES:

- ① SEE COB DOWNTOWN DESIGN AND CONSTRUCTION STANDARDS FOR APPROVED ITEMS.

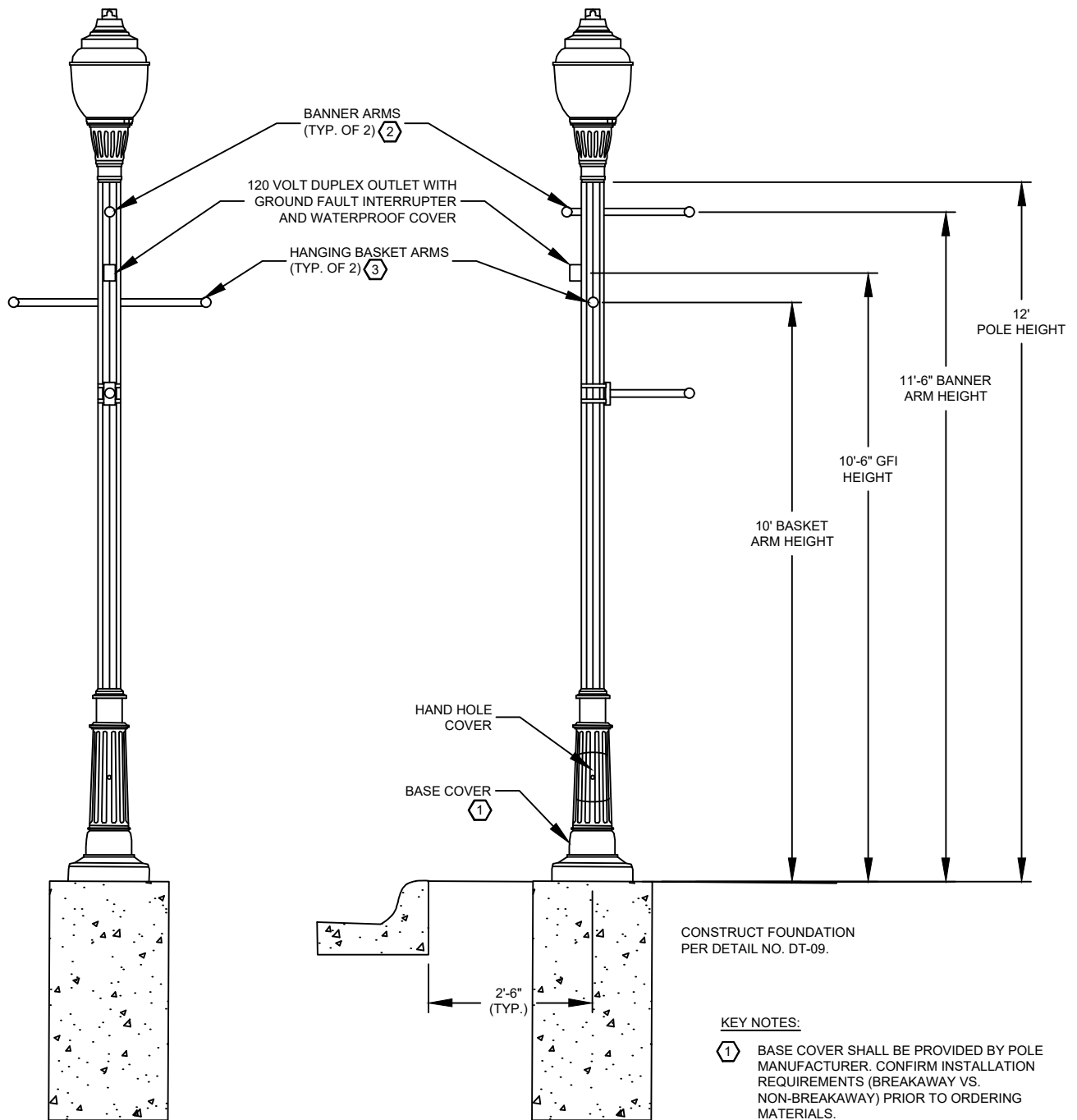


CITY OF BOZEMAN
DOWNTOWN
STANDARD DETAIL

SCALE:
NONE

TREE GRATE & GUARD
DETAIL

NO. DT-07
08/2025



GENERAL NOTES:

1. SEE COB DOWNTOWN DESIGN AND CONSTRUCTION STANDARDS FOR APPROVED POLE AND LUMINAIRE PRODUCTS.
2. LIGHTS IN SUB-AREA 2 (N. ROUSE) SHALL NOT INCLUDE BANNER ARMS, BASKET ARMS, OR GFI OUTLETS.

KEY NOTES:

- ① BASE COVER SHALL BE PROVIDED BY POLE MANUFACTURER. CONFIRM INSTALLATION REQUIREMENTS (BREAKAWAY VS. NON-BREAKAWAY) PRIOR TO ORDERING MATERIALS.
- ② BANNER ARMS SHALL BE ORIENTED TOWARDS BUILDINGS AND PERPENDICULAR TO STREET. UPPER BANNER ARM SHALL BE SUPPLIED BY LIGHT POLE MANUFACTURER. LOWER BANNER ARM WILL BE PURCHASED AND INSTALLED BY OTHERS.
- ③ HANGING BASKET ARMS SHALL BE ORIENTED PARALLEL TO STREET.

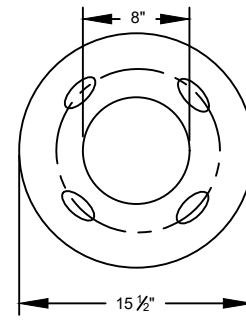
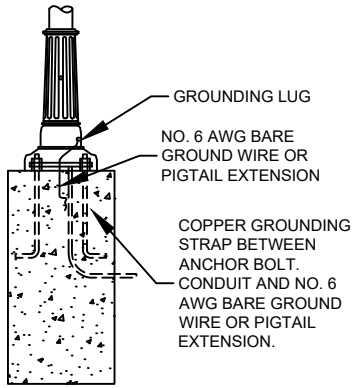


CITY OF BOZEMAN
DOWNTOWN
STANDARD DRAWING

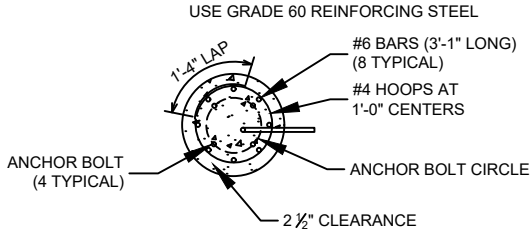
SCALE:
NONE

PEDESTRIAN LIGHT DETAIL

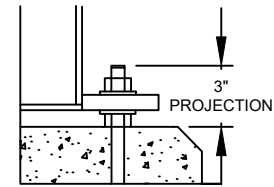
NO. DT-08
08/2025



ANCHOR PLATE

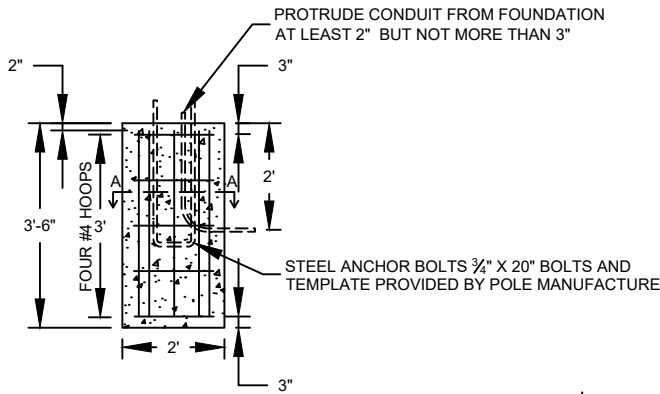


SECTION A - A

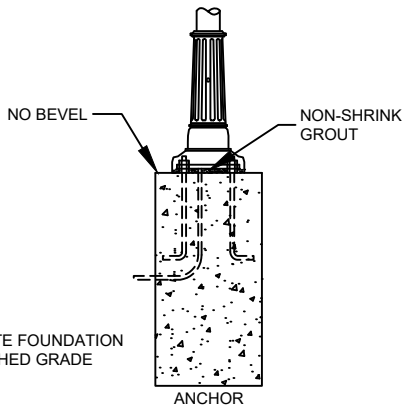


COMES WITH 4 STEEL ANCHOR BOLTS, 3/4" X 17" + 3" J TYPE BOLTS, 8 NUTS AND 8 WASHERS. IMPORTANT: DO NOT OBSTRUCT SPACE BETWEEN ANCHOR PLATE AND CONCRETE BASE.

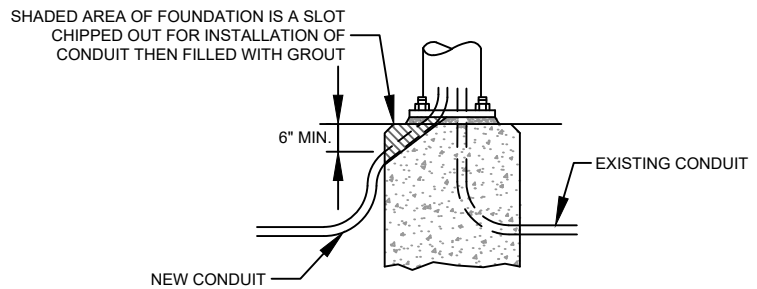
BASE AND BOLTS INFORMATION



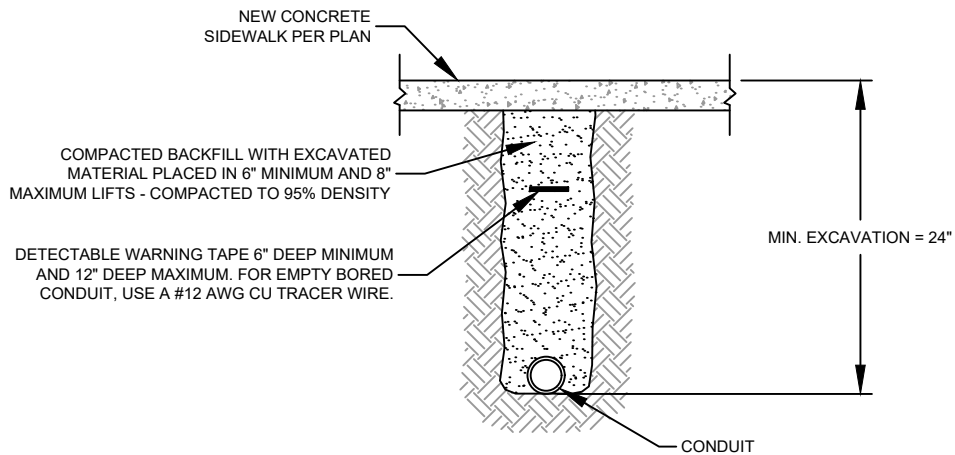
TYPICAL OF ALL FOUNDATIONS



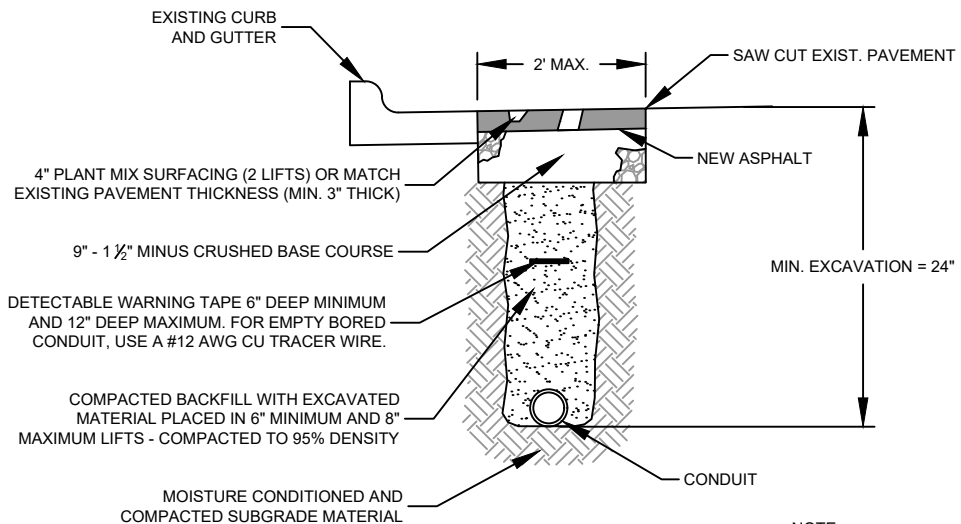
BASE TYPE FOR LUMINAIRE STANDARDS



INSTALLATION OF CONDUIT INTO EXISTING POLE BASE



CONDUIT TRENCH FOR SIDEWALK AREA DETAIL



NOTE:
 ASPHALT THICKNESS PER COB REQUIREMENTS
 AND/OR GEOTECHNICAL RECOMMENDATIONS

CONDUIT TRENCH FOR STREET AREA DETAIL